

NOTES

THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE DESIGNER
 SET OUT FROM MUNICIPAL APPROVED PLANS ONLY
 FIGURE DIMENSIONS MUST BE TAKEN IN PREFERENCE TO SCALING
 ALL RELEVANT LEVELS, DIMENSIONS AND DETAILS MUST BE VERIFIED ON SITE BY BUILDER. ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER BEFORE ANY WORK COMMENCES

PARKING NOTES

PROVIDED VISITORS PARKING SIGNS 1.8m ABOVE THE GROUND LEVEL IN 76mm HIGH LETTERING

PARKING / LOADING BAYS TO BE DEMARCATED IN 100mm WIDE WHITE LINES IN APPROVED TRAFFIC PAINT

DRIVEWAY / PARKING TO BE BRICK PAVED TO FALLS TO STORMWATER CATCHPITS TO MUNICIPAL SERVICES

PARKING BAYS TO BE MINIMUM 5.0m LONG x 2.5m WIDE

LOADING BAYS TO BE 7.5m x 3.5m WIDE

PAVING

PAVING BRICKS LAID ON FLAT IN BASKETWEAVE PATTERN ON 50mm CLEAN SAND ON 100mm COMPACTED HARDCORE.

LEVELS

BUILDING FLOOR LEVEL TO BE MINIMUM 230mm ABOVE BOF AT SEWER CONNECTION.

DPC TO WALLS AT MINIMUM 150mm ABOVE FINISHED GROUND OR PAVING LEVELS.

DRAINLINE PROTECTION

SEWER AND STORM WATER PIPES TO BE PROTECTED UNDER DRIVEWAY AND BUILDINGS IN ACCORDANCE WITH PART PP24 SABS 0400. PROVIDE HEAVY DUTY COVER TO MANHOLES/RODDING EYES IN DRIVEWAYS.

STORMWATER NOTES

1. roof rainwater to discharge via downpipes to ditched channels to driveway / stormwater system
2. all paved areas / driveway / parking bays to fall to stormwater channels / catchpits / s/w system
3. all carriageway crossings / stormwater connections / sewer connections are by developer in positions determined by building design

BULK / COVERAGE / PARKING

SITE AREA = 4120m²

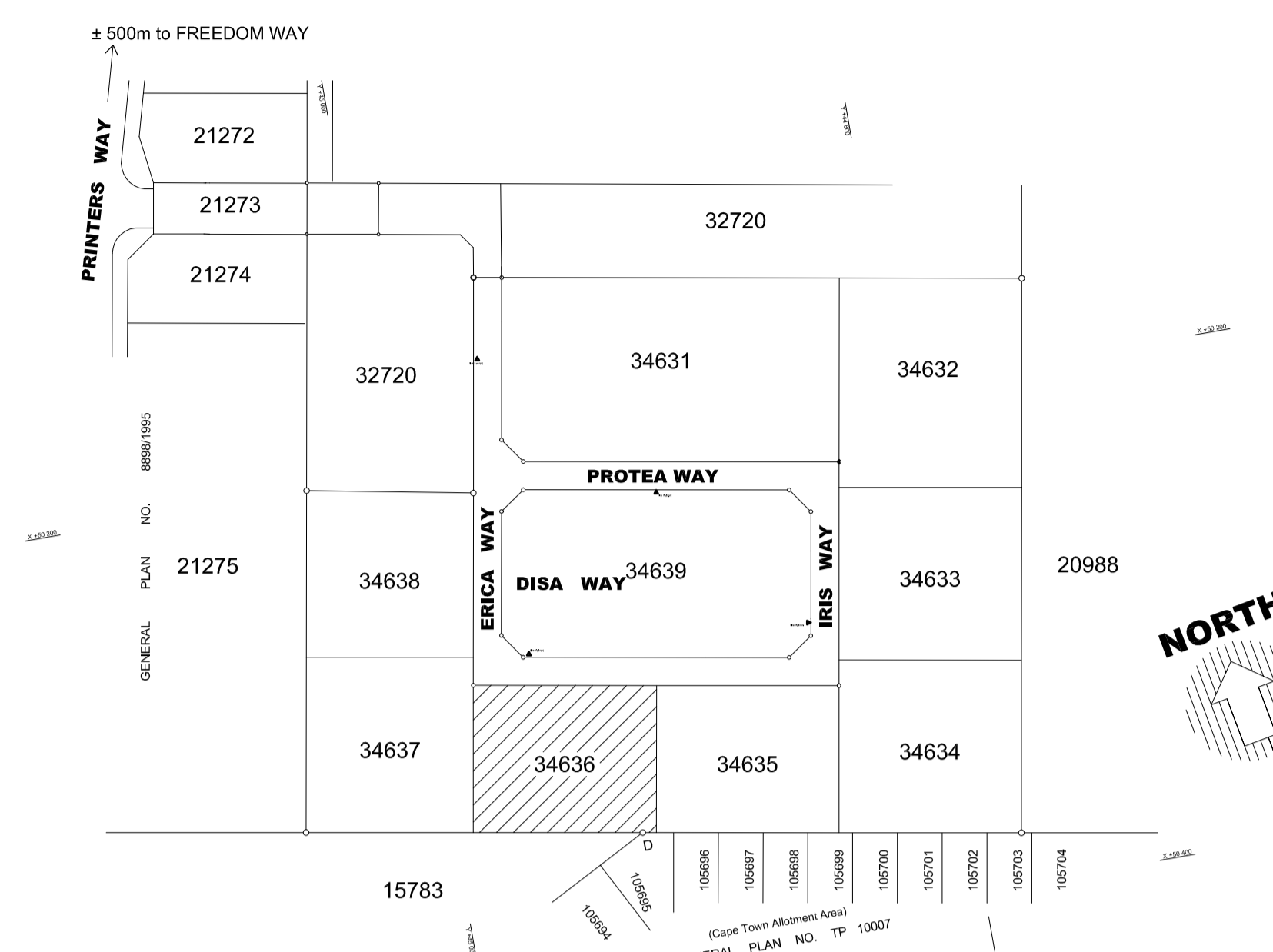
UNITS 1, 6, 7 & 12
 ground floor = 148.9m²
 first floor = 48.8m²
 balcony = 2.1m²
 TOTAL/UNIT = 199.8m²

UNITS 2 to 5 and 7 to 11
 ground floor = 145.4m²
 first floor = 48.8m²
 balcony = 2.1m²
 TOTAL = 196.3m²

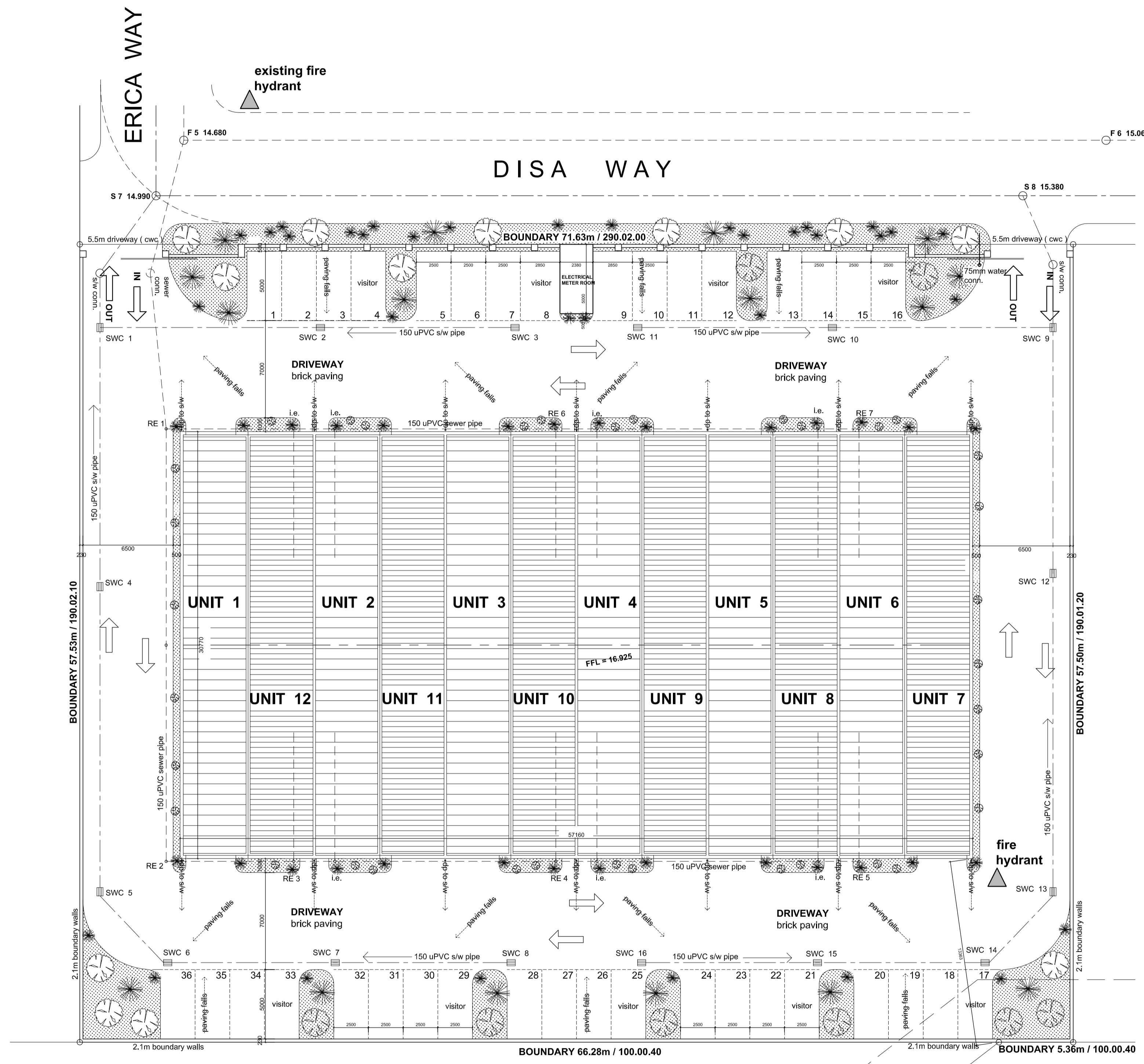
TOTAL BULK = 2365.6m² / 57.4%
 plus meter room of 11.9m² = 2377.5m² / 57.7%

COVERAGE = 1780m² / 43.2%
 plus meter room of 11.9m² = 1791.9m² / 43.5%

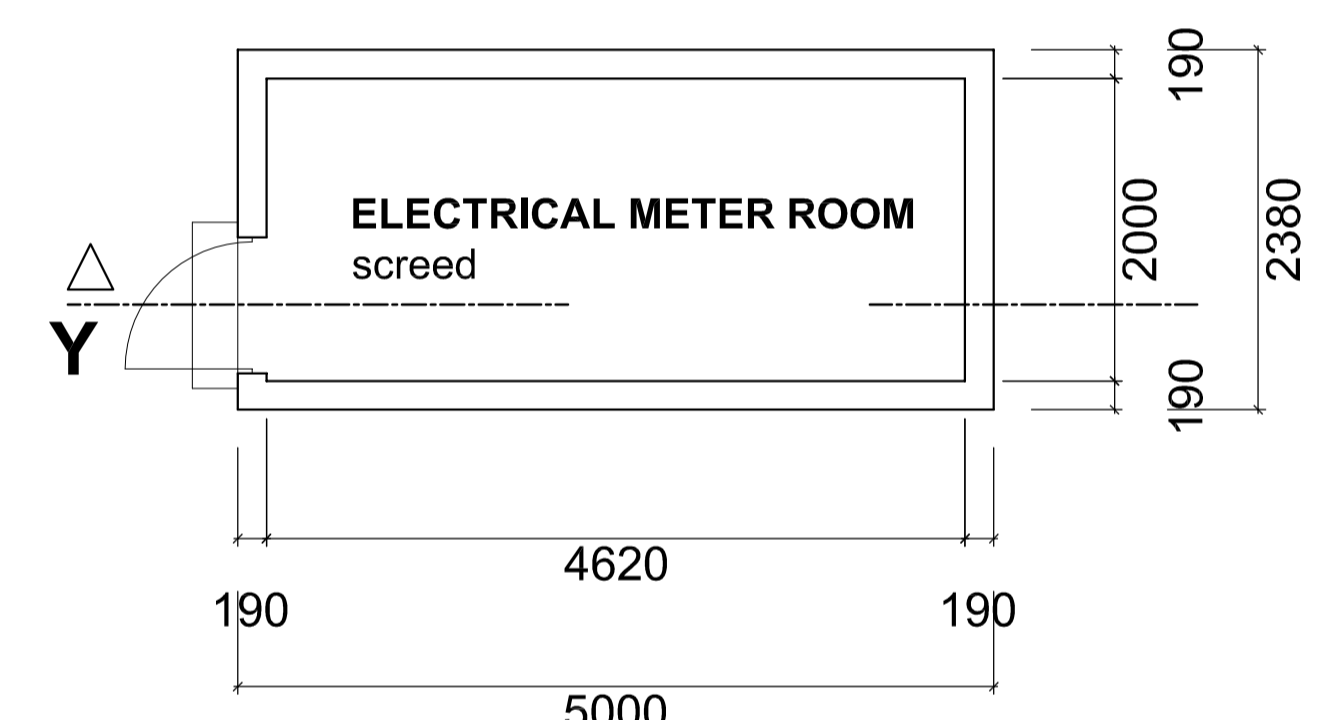
PARKING
 (@ 2 per 1st 100m² + 1 per following 100m²)
 required @ 3 / unit = 36
 BAYS PROVIDED = 36



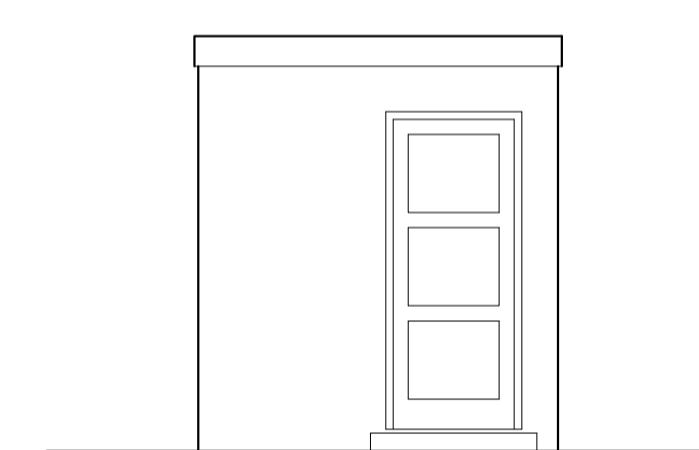
LOCALITY PLAN
not to scale



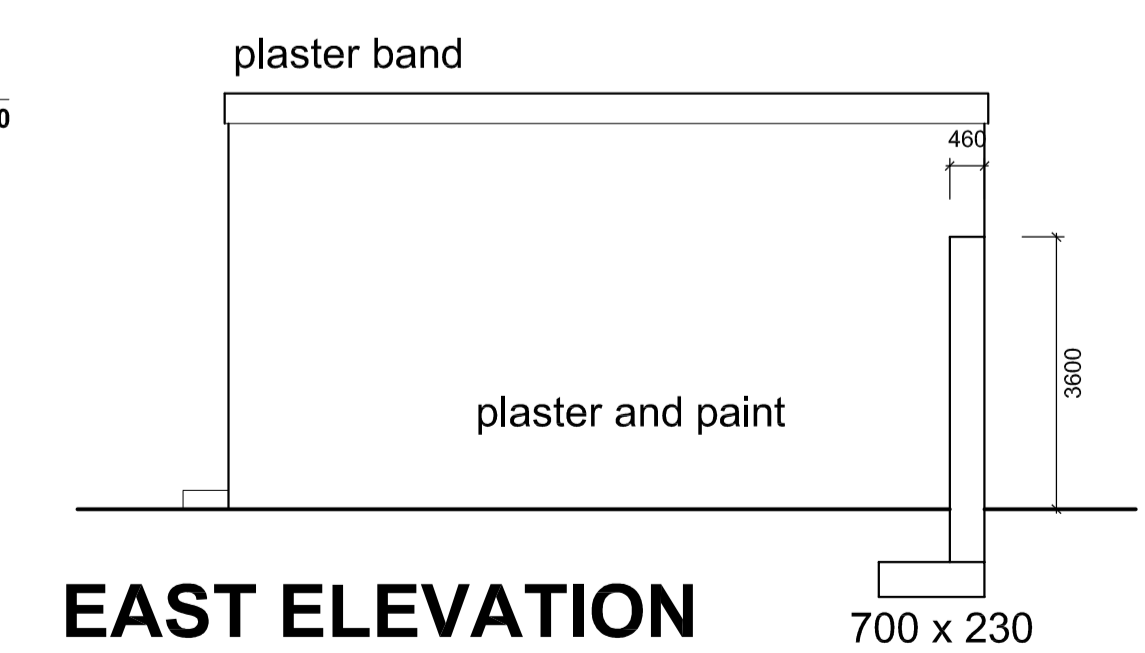
SITE LAYOUT PLAN
1 : 200



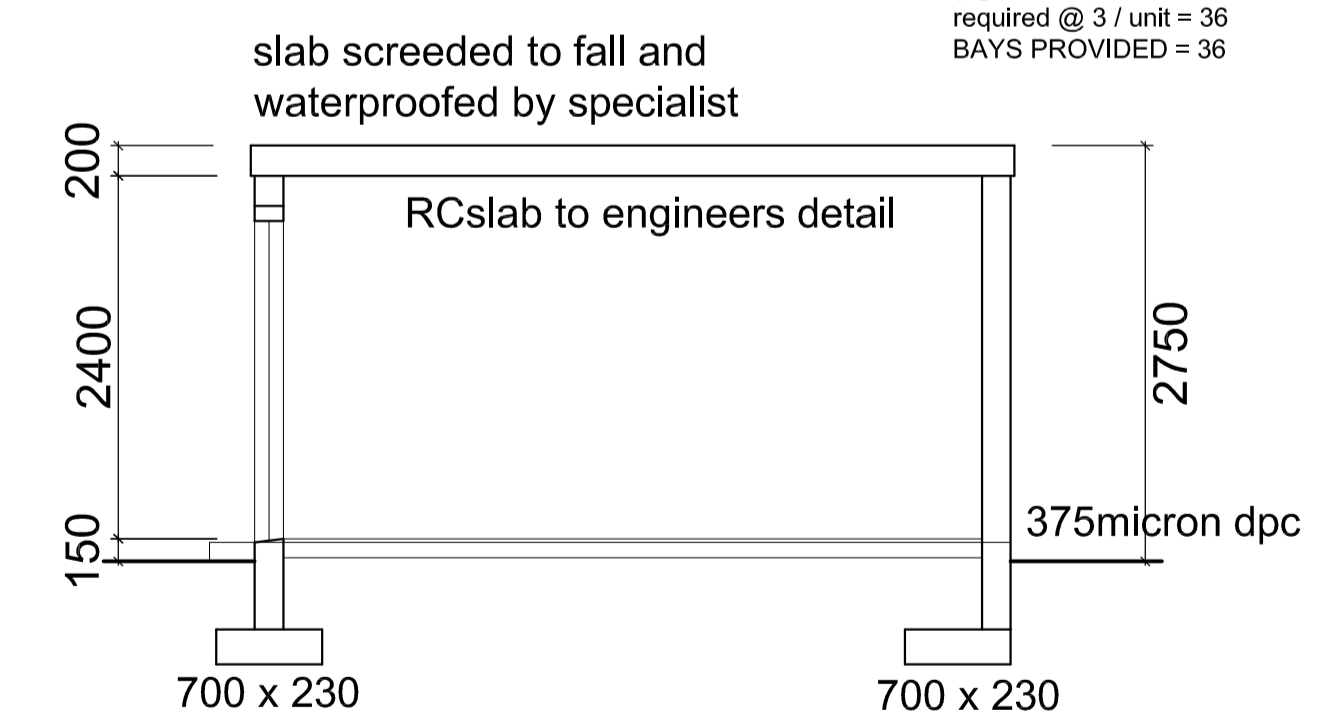
FLOOR PLAN
1 : 100



SOUTH ELEVATION
1 : 100



EAST ELEVATION
1 : 100



SECTION Y - Y
1 : 100

NB:
no portion of building or foundation to project over the site boundary

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scales : 1 : 200	date : 27 APRIL 2006	REVISIONS:
SHEET 1 of 1		

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ERF 34636, PRIME PARK
 project :
ELECTRICAL METER ROOM
 for PORT FERRY PROPERTIES cc,
ERF 34636, PRIME PARK
 MONTAGUE GARDENS.
 owner date